

Top2Bottom Home Inspection

\$ClientName1 \$ClientName2 Property Inspection Report



123 Sample Street, Anytown, OK 99999

Inspection prepared for: John Smith

Real Estate Agent: Name Agent - Realtor Company Name

Date of Inspection: 5/24/2012

Age of Home: 2000 Size: 2000

Weather: 70 Clear

Inspector: Woodie Wallace

License # 70001308

1005 Irvine Drive, Edmond, OK 73025

Phone: (405) 314 - 8984

Email: T2Bhomeinspection@outlook.com

www.top2bottomhomeinspect.com



Top2Bottom Home Inspection appreciates the opportunity to conduct this inspection for you! We typically will review the report after we have completed your inspection before we leave. Once we leave, please carefully read your entire Inspection Report. Remember, when the inspection is completed and the report is delivered, Top2Bottom Home Inspection is still available should you have questions.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFI outlets may not be installed; **this report will focus on safety and function, not current code.** This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair. For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects.

Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

"Notice to Third Parties: *This Report is the joint property of Top2Bottom Home Inspections LLC and the Client(s) listed above. Unauthorized transfer to any third parties or subsequent buyers is not permitted. This report and supporting inspection were performed according to a written contract agreement that limits its scope and the manner in which it maybe used. Unauthorized recipients are advised to not rely upon the contents of this report, but instead to retain the services of the qualified home inspector of their choice to provide them with an updated report."*

A Home Inspection is a non-invasive visual examination of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and not the prediction of future conditions.

A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

A material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required.

General Notes

1. General Notes

Observations:

Your Home Inspection Report is not a code inspection, nor is the inspector licensed to perform any code inspections pertaining to this specific property. All code enforcement questions must be directed to the authority having jurisdiction. Contact the local building department for further details.

Final Walk-Through: This report is a snapshot in time, at the time and date of the inspection. Conditions in a house can change at any time, for any number of reasons (think about your vehicle suddenly breaking down!). For this reason, we recommend a complete walk-through of the vacant house before closing. If you or your representative are not available for such a walk through (or if you would like a professional to accompany you), we ask that you provide us with 3 days notice. We provide this service within the metro area of Coeur d'Alene for only \$95.

Pictures - Pictures are included to help you understand and see what I saw at the time of the inspection. They are intended to show an example or illustration of an area of concern but may not show every occurrence and may not accurately depict its severity. Also note that not all areas of concern will be pictured. Do not rely on pictures alone. Please read the complete inspection report before your inspection contingency period expires.

Exterior Areas

As with **all** areas of the house, we recommend that you carefully examine the roof immediately prior to closing the deal. Note that walking on a roof voids some manufacturer's warranties. Adequate attic ventilation, solar / wind exposure, and organic debris all affect the life expectancy of a roof (see www.gaf.com for roof info). Always ask the seller about the age and history of the roof. On any home that is over 3 years old, experts recommend that you obtain a roof certification from an established local roofing company to determine its serviceability and the number of layers on the roof. We **certainly** recommend this for any roof over 5 years of age. Metal roofs in snow areas often do not have gutters and downspout, as there is a concern that snow or ice cascading off the roof may tear gutters from the house. Likewise, be advised that such cascading may cause personal injury or even death. If this house has a metal roof, consult with qualified roofers or contractors regarding the advisability of installing a damming feature which may limit the size and amount of snow / ice sliding from the roof.

Grading and drainage are probably the most significant aspects of a property, simply because of the direct and indirect damage that moisture can have on structures. More damage has probably resulted from moisture and expansive soils than from most natural disasters. There should be gutters and downspouts with splash blocks that discharge away from the building. We have discovered evidence of moisture intrusion inside structures when it was raining that would not have been apparent otherwise. In addition, we recommend that downspouts do not terminate over paved areas such as walks or driveways, as they can contribute to icy slip and fall hazards in winter.

Minor settlement or "hairline" cracks in drives, walks or even foundations are normal to properties of any age. They should, however, be monitored for expansion and sealed as necessary.

Note that any siding, but especially composition or hardboard siding must be closely monitored. A classic example is the older style Louisiana Pacific siding, where the failure and deterioration provided grounds for a class action lawsuit. Even modern composition siding and, especially, trim, is particularly vulnerable to moisture damage. All seams must remain sealed and paint must be applied periodically (especially the lower courses at ground level). It is imperative that continued moisture be kept from it, especially from sprinkler, rain splash back or wet grass. Swelling and deterioration may otherwise result.

Vegetation too close to the home can contribute to damage through root damage to the foundation, branches abrading the roof and siding, and leaves providing a pathway for moisture and insects into the home.

Although rails are not required around drop-offs less than 30", consider your own personal needs and those of your family and guests. By today's standards, spindles at decks and steps should be spaced no more than 4" apart for the safety of children.

Open window wells should have either grates or, preferably, a weatherproof shield installed over them. This will keep rain and snow from building up inside the well and possibly leaking into the home, as well as minimizing your liability from children and non-residents falling inside them. An egress ladder should also be installed within the well, especially at below-grade bedrooms.

1. Roof

Materials and Inspection location: Inspected from roof, Number of Roofing layers: 1, Composition architectural shingles

Observations:

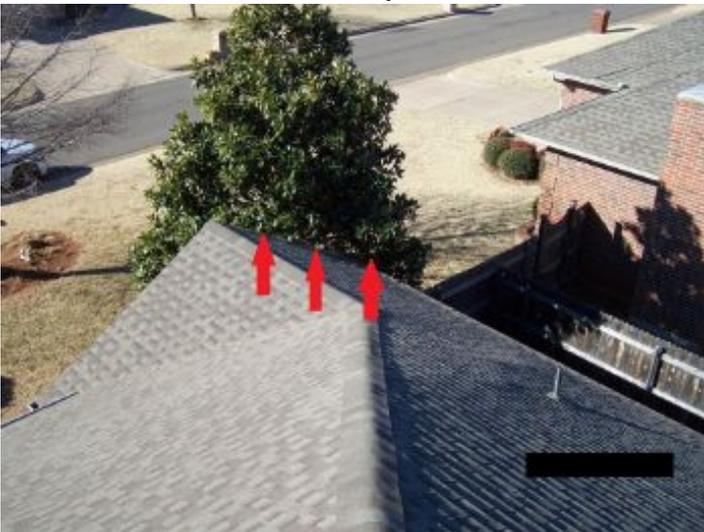
- Debris built up on roof. Limbs touch roof. Recommend trimming back as can cause early failure of roofing materials.



Trim Trees away from roof.



View from Roof



Tree: trim away from roofing (view from roof)



Wind Turbine Vents: 4 present and operating at time of inspection

2. Chimney

Observations:

- No major system safety or function concerns noted at time of inspection.

3. Gutters & Grading

Information: Partial gutters - Full installation recommended to keep water away from structure. Water can weaken the foundation and deteriorate the siding. Be sure to install splashblocks or extensions to carry water away, and keep water from areas such as driveways or walks where it can be an ice hazard in winter., Aluminum Gutters

Observations:

- Maintenance Tip: Keep gutters cleared of pine needles to prevent downspouts from being clogged and overflow at gutters.



Maintenance: Keep Gutters clean of debris to allow proper function

4. Drives & Walks

Information: Concrete driveway, Concrete sidewalk.

Observations:

- Moderate cracks in driveway. Repair and / or monitor for expansion and development of trip hazards.
- Normal settlement / separation crack at concrete walk / steps junction: Maintenance - Monitor and or seal annual to prevent additional deterioration due to moisture intrusion.

5. Siding

Material Information: EXTERIOR MATERIAL: Brick Veneer.

6. Vegetation

Observations:

- Trim trees that are in contact or proximity to home, as branches can abrade roofing or siding.
- Maintenance Tip: When landscaping keep plants, even at full growth, at least a foot (preferably 18 inches) from house siding and windows. Keep trees away from foundation and roof. Plants in contact or proximity to home can provide pathways to wood destroying insects and abrade and damage siding, screens and roofs.
- Trees within 6 feet foundation. Monitor for potential root damage.

7. Electrical, Exterior

Observations:

- **Electrical Outlet loose from mounting to House: recommend licensed contractor secure in mounting box to prevent possible shock or moisture entry.**
- **Electrical Extention Cord running from Garage to power of Sprinkler Control Box. GFCI Outlet adjacent to Sprinkler Control box has no power. Recommend Licensed Contractor / Electrician evaluate / repair GFCI outlet and remove extention cord. Extention cords are not meant for permanent installation.**



Missing Screws to Electrical Outlet (outside back door)



Missing screws on electrical outlet outside back door

8. Entry / Exit Doors

Observations:

- Doorbell inoperative.
- Rear Door: Weatherstripping loose. Recommend repair / replace to prevent air / moisture intrusion.



Rear Door Weatherstripping

9. Window Condition

Observations:

- Some window screens missing. Check with seller to determine if they are on the property.

10. Hose Bibb

Materials: Hose Bibb South West Corner

Observations: Hose Bibb Leaking at head: recommend licensed contractor evaluate for repair/replacement



Facet, Front of Home, leaking at packing nut

Interior Features

This inspection does not include testing for radon, mold or other hazardous materials.

Plumbing is an important concern in any structure. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring.

Interior areas consist of bedrooms, baths, kitchen, laundry, hallways, foyer, and other open areas. All exposed walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Although excluded from inspection requirements, we will inform you of obvious broken gas seals in windows. Please realize that they are not always visible, due to temperature, humidity, window coverings, light source, etc. Your inspection will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas, as the inspector will not move personal items.

Note that if in a rural location, sewer service and/or water service might be provided by private waste disposal system and/or well. Inspection, testing, analysis, or opinion of condition and function of private waste disposal systems and wells is not within the scope of a home inspection. Recommend consulting with seller concerning private systems and inspection, if present, by appropriate licensed professional familiar with such private systems. If a Septic System is on the property, pumping is generally recommended prior to purchase, and then every three years.

An inspection does not include the identification of, or research for, appliances and other items that may have been recalled or have had a consumer safety alert issued about it. Top2Bottom Home Inspections LLC offers a service to research appliances for recalls through *RecallCheck*.

This Service is provided for an additional fee. Any comments made in the report unless the *RecallCheck* service is requested and fee paid, are provided as a courtesy only. Product recalls and consumer product safety alerts are added almost daily by the Consumer Product Safety Commission. We recommend visiting the following Internet site if recalls are a concern to you: <http://www.cpsc.gov>.

1. Master Bath

Observations:

CAULK & GROUT:

Maintenance Tip: Keep caulked/grouted areas maintained, including sink backsplash, shower surround, floor tub/shower junction and around windows in shower area. Also be sure to use exhaust fan when showering or bathing.

The GFCI outlet in the master bathroom provides GFCI protection to the full bath. If tripped reset in the master bathroom.

Master Bath Tub: Overflow drain cover missing screw. Recommend replacement to prevent possible water draining under tub.

Shower: appears to be leaking at base as measured with Moisture Meter. Recommend licensed contractor / plumber evaluate and repair / replace as required.

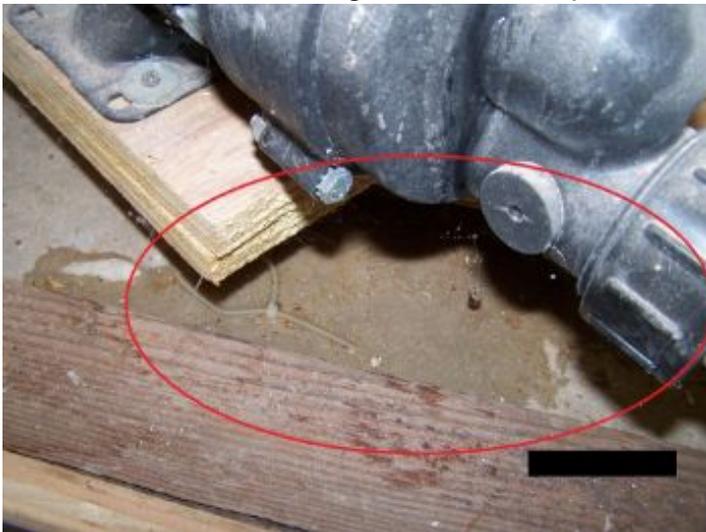
Jacuzzi Tub: Leaking at connection joint under tub. Recommend licensed plumber evaluate and repair.



Jacuzzi Tub Leaking at connection point



Jacuzzi Tub Leaking at connection point



Jacuzzi Tub Leaking at connection point



Missing Screw on Tub Overflow



Shower Pan indicates excessive moisture: Leaking



Missing Hardware Master Bath Door

2. Bath (Guest)

Observations:

- CAULK & GROUT:
- Sink backsplash needs minor caulk repair.
- Toilet loose and may need re-anchoring: no evidence of leaking at time of inspection.

3. Kitchen

Observations:

CAULK:

Countertop at sink needs minor grout or caulk.

Counter Top Material: Granite with tile backsplash.

- Oven Temperature reading at setting of 350 degrees _362: within normal operating range.

Dishwasher drain line to Disposal: No Hi Loop. Recommend attaching drain line to bottom of counter top to prevent "Gray" water from possible back flow.

Refrigerator: unplugged, not evaluated.

- Range - No Anti Tip device.

Anti-tip brackets are metal devices designed to prevent freestanding ranges from tipping. They are normally attached to a rear leg of the range or screwed into the wall behind the range, and are included in all installation kits. A unit that is not equipped with these devices may tip over if enough weight is applied to its open door, such as that from a large Thanksgiving turkey, or even a small child. A falling range can crush, scald, or burn anyone caught beneath.



Dishwasher Drain line at disposal: no high loop

4. Plumbing & Laundry

Observations:

- Gas Line present in Laundry Room with Cap: not tested.
- **Dryer Venting into Attic: recommend venting to exterior of home to prevent lint and moisture venting in Attic.**
- **Dryer Vent large amount of lint: recommend cleaning.**



Power to dryer verified: note gas line for dryer present but capped.



Dryer improperly venting into Attic space

5. Interior Electric

Observations: No Arc-Fault Circuit Interrupter (AFCI) protection was found to be installed to protect electrical circuits. Although AFCI protection was not required at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding.

AFCI receptacles or breakers should be installed on 15 or 20 amp circuits in Family, Dining, Living, Bedrooms, Sun, Library, Offices, Hallways, Closets, Rec Rooms and other similar areas in a home.

Arc-fault protection can be provided using either of two methods:

1. Arc Fault Circuit Interrupters (AFCI's) electrical outlets which have this capability built in.
2. AFCI circuit breakers installed at the main electrical panel which provide this protection to all non-AFCI outlets on the circuit controlled by that AFCI breaker.

Consider updating the existing electrical to provide AFCI protection.

Outlet cover(s) broken: recommend replacement to prevent possible shock hazard.



Broken Outlet Plate

6. Floors, Ceilings & Walls

Observations:

- Minor settlement cracks noted, which is normal for a house of this age.
- Large hole / missing sheetrock in Master Bedroom Closet. Recommend licensed contractor repair.



Missing Sheetrock in Master Closet

7. Interior Doors

Observations:

- Master Bath Room Door doesn't latch properly: missing hardware on top left door. Hardware may be obtained at Home Depot, Lowe's, Ace Hardware, etc...

8. Windows

Observations:

- WINDOW MATERIALS:
 - - Aluminum
- Some window screens missing. Check with seller to determine if they are on the property.
- Maintenance Tip: Caulk around windows to prevent moisture and outside air entry

9. Fireplaces & Stoves

Observations:

- No major system safety or function concerns noted at time of inspection.

Electric, Heating & Air, Water Heater

Electric: Note that only actual GFCI outlets are tested and tripped. Some baths may have non-GFCI outlets which are protected by a GFCI outlet in a remote area (garage, another bath, etc.). Confirm with owner that apparent non-GFCI outlets within 6' of wet areas are thus protected. Also, note that most electricians agree that smoke detectors are good for about 5 years, and the breakers in your panel box have an expected life of about 20 years. Therefore, **if this home was built before 1990, consider having the panel box and breakers evaluated by a licensed electrician**, as an overheated breaker can result in a structural fire. If your home does not have a carbon monoxide detector (few do!), we recommend making that investment. Any home that has a **Bulldog Pushmatic, Zinsco, Sylvania Zinsco or Federal Pacific** Electric panel should have it evaluated by a licensed electrician, as these older types of panels and breakers have been known to overheat and cause house fires.

Heat: The heating, ventilation, air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood. The inspector will test the heating and air conditioner using the thermostat or other controls. A more thorough investigation of the system, including the heat ("firebox") exchanger, should be conducted by a licensed HVAC service person every year. Failure to do so may result in carbon monoxide escaping through cracks in a heat exchanger or flue pipe, resulting in death.

1. Electrical Panel

Materials: 200 Amp Service • Cutler-Hammer • Panel box located in garage

Observations:

• **Sharp-pointed metal screws hold panel cover in place. These are a potential hazard as they may puncture wire insulation and electrify panel box, becoming a shock or electrocution hazard. Recommend Licensed Contractor replace with approved, flat-tipped panel screws.**



Service Entrance to Electrical Panel in Garage



Improper Panel Screws in Electrical Panel

2. AC Unit

Information: Trane: 3.5 Ton unit Mfg. 2000

Observations:

- - AC temperature at Supply 75 degrees and at Return 98 degrees.
- No major system safety or function concerns noted at time of inspection.

3. Heat / Furnace Information

Materials: Trane: Natural Gas: located in Garage.

Observations: - Heat temperature at Supply 92 degrees and at Return 59 degrees. • Gas Furnace:

Last service date unable to be determined. Although this unit appears to be operating properly from controls, there are areas which cannot be seen without specialized equipment. Recommend annual service.



Supply vent



Return Vent



No Carbon Monoxide present at time of inspection

4. Water Heater

Information: 40 +/- gallons, Bradford White, Water Shut off: Adjacent to Water heater, Located in Garage

Observations:

- Water Temperature: 102.

- **Flue Pipe of gas water heater loose: This should be attached properly direct carbon monoxide gases to exterior of home. This is a safety hazard.**



Exhaust Vent not attached: Safety Issue



Gas Cutoffs for Furnace and water heater located adjacent to units

5. Thermostat Location

Materials: Hallway between bedrooms: unit is a electronic programmable unit. Recommend having Seller demonstrate programming or provide manual.

Garage, Basement & Attic

Note that minor settlement or “hairline” cracks in garage or basement slabs are not noted in an inspection, as they are normal to properties of any age. They should, however, be monitored for expansion and sealed as necessary.

Residential inspections only include garages and carports that are physically attached to the house. They are not considered habitable, and conditions are reported accordingly.

Inspectors are not required to enter any crawlspace areas that are not readily accessible, less than 36” clearance, wet (electrical shock hazard), or where entry could cause damage or pose a hazard to the inspector.

We recommend that all attic hatches have a batt of fiberglass insulation installed over them, and that the hatch be sealed shut with latex caulk. This will keep warm moist air from entering the attic, which may cause condensation or even mold. Note that *every* attic has mold; mold is everywhere. Some attics have some minor *visible* mold. This is often a result of the building process, when materials get wet during construction. If there is *extensive* mold, or mold that appears to have grown due to poor maintenance conditions, we will report it to you, the client. If the hatch is sealed shut when we go to inspect the attic, it can only be unsealed by the owner or their representative, as our insurance prohibits us from performing any destructive testing or entry. In accordance with industry and insurance standards, we will not attempt to enter an attic that has no permanently installed steps or pull-down stairs; less than thirty-six inches of headroom; does not have a standard floor designed for normal walking; walking, in the inspector’s opinion, may compromise the ceiling below; is restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we will inspect the attic as best we can from the access point, with no comments or evaluations of areas not readily viewed from the hatch area.

1. Garage

Observations:

- Moderate crack(s) on garage floor. These should be sealed and monitored for expansion.
- **Garage Door Sensors: Up force, down force and impact stop needs adjustment to prevent possible vehicle damage or safety. Recommend evaluation and adjustment by Garage door technician.**



Up and Down force of Garage Door Opener Improper

2. Attic

Observations:

- Much of Attic is not visible due to insulation.
- Insulation averages about 8-10 inches in depth
- **Corrugated Stainless Steel Tubing, CSST, was observed and proper bonding could not be determined by inspector at time of inspection: "Manufacturers believe the product is safer if properly bonded and rounded as required by the manufacturer's installation instructions. Proper bonding and grounding of the product CAN ONLY be determined by a licensed electrical contractor".**
- **Wire ends are outside of a Junction Box, which is a potential shock or electrocution hazard.**



CSST Gas line present in Attic: Must be Properly bonded electrically



Air Duct Strapping in place



Blown in Fiberglass insulation: approximate depth 8-10"

Summary of Items of Concern

On this page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including Normal Maintenance items. Be sure to read your entire report! For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns in the opinion of the inspector with this property at the time of inspection.

Exterior Areas		
Page 6 Item: 7	Electrical, Exterior	<ul style="list-style-type: none"> • Electrical Outlet loose from mounting to House: recommend licensed contractor secure in mounting box to prevent possible shock or moisture entry. • Electrical Extention Cord running from Garage to power of Sprinkler Control Box. GFCI Outlet adjacent to Sprinkler Control box has no power. Recommend Licensed Contractor / Electrician evaluate / repair GFCI outlet and remove extention cord. Extention cords are not meant for permanent installation.
Interior Features		
Page 9 Item: 1	Master Bath	<p>Master Bath Tub: Overflow drain cover missing screw. Recommend replacement to prevent possible water draining under tub.</p> <p>Shower: appears to be leaking at base as measured with Moisture Meter. Recommend licensed contractor / plumber evaluate and repair / replace as required.</p> <p>Jacuzzi Tub: Leaking at connection joint under tub. Recommend licensed plumber evaluate and repair.</p>
Page 11 Item: 3	Kitchen	<p>- Range - No Anti Tip device.</p> <p>Anti-tip brackets are metal devices designed to prevent freestanding ranges from tipping. They are normally attached to a rear leg of the range or screwed into the wall behind the range, and are included in all installation kits. A unit that is not equipped with these devices may tip over if enough weight is applied to its open door, such as that from a large Thanksgiving turkey, or even a small child. A falling range can crush, scald, or burn anyone caught beneath.</p>
Page 12 Item: 4	Plumbing & Laundry	<ul style="list-style-type: none"> • Dryer Venting into Attic: recommend venting to exterior of home to prevent lint and moisture venting in Attic. • Dryer Vent large amount of lint: recommend cleaning.
Page 12 Item: 5	Interior Electric	<p>Outlet cover(s) broken: recommend replacement to prevent possible shock hazard.</p>
Electric, Heating & Air, Water Heater		

Page 15 Item: 1	Electrical Panel	<ul style="list-style-type: none">• Sharp-pointed metal screws hold panel cover in place. These are a potential hazard as they may puncture wire insulation and electrify panel box, becoming a shock or electrocution hazard. Recommend Licensed Contractor replace with approved, flat-tipped panel screws.
Page 17 Item: 4	Water Heater	<ul style="list-style-type: none">• Flue Pipe of gas water heater loose: This should be attached properly direct carbon monoxide gases to exterior of home. This is a safety hazard.
Garage, Basement & Attic		
Page 18 Item: 1	Garage	<ul style="list-style-type: none">• Garage Door Sensors: Up force, down force and impact stop needs adjustment to prevent possible vehicle damage or safety. Recommend evaluation and adjustment by Garage door technician.
Page 19 Item: 2	Attic	<ul style="list-style-type: none">• Corrugated Stainless Steel Tubing, CSST, was observed and proper bonding could not be determined by inspector at time of inspection: "Manufacturers believe the product is safer if properly bonded and rounded as required by the manufacturer's installation instructions. Proper bonding and grounding of the product CAN ONLY be determined by a licensed electrical contractor".• Wire ends are outside of a Junction Box, which is a potential shock or electrocution hazard.